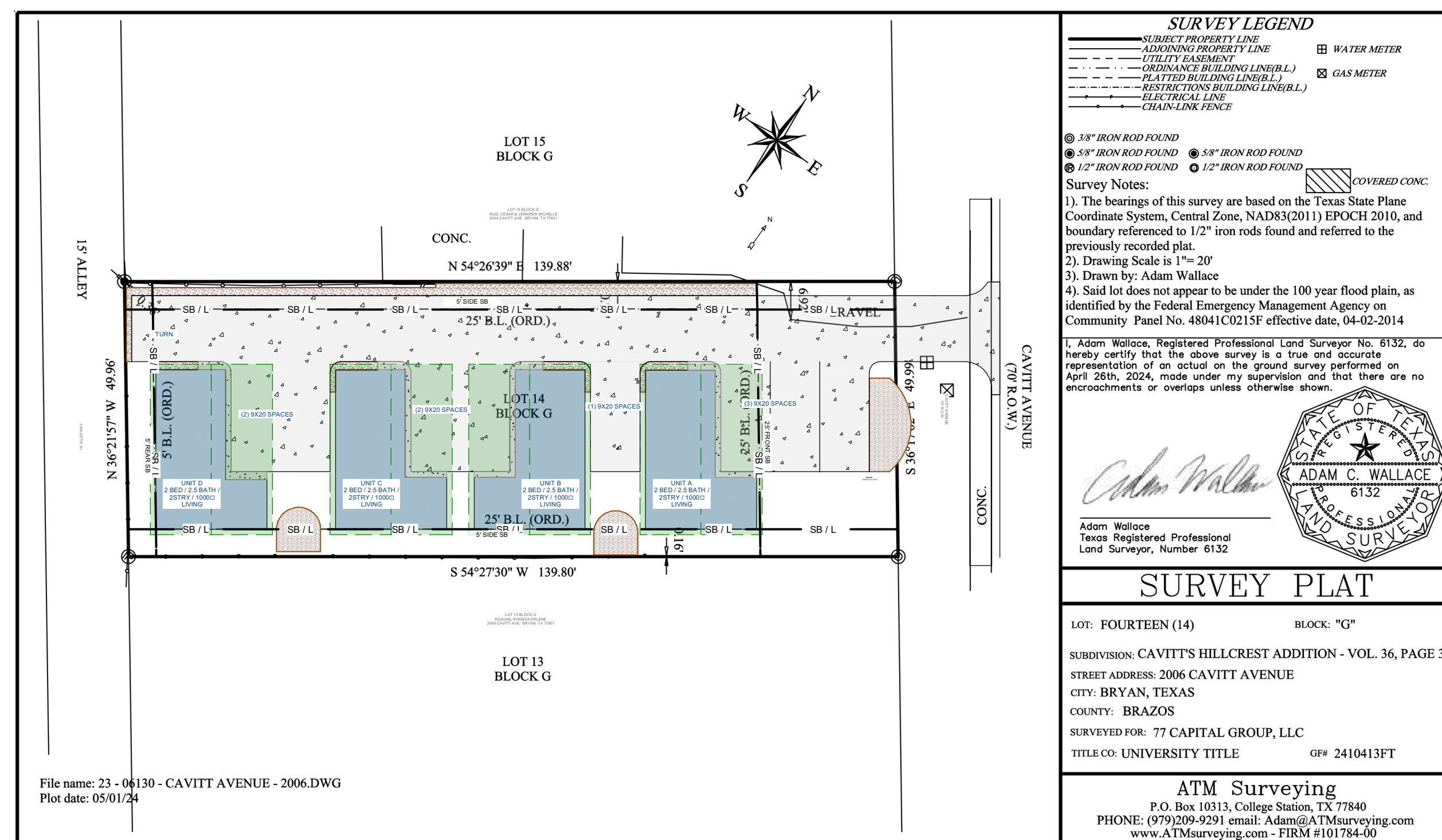




BUILDING SUMMARY						
CONSTRUCTION TYPE 5B - 2 STORY 2 BED - 2.5 BATH 1 COVERED PARKING SPACE						
Building Number	2	A	B	C	D	Total
Total Bedrooms	2	2	2	2	2	8
Total Bathrooms	3	3	3	3	3	12
Foundation Area	455	455	455	455	455	1,820
Total Square Feet	1,168	1,168	1,168	1,168	1,168	4,672
Conditioned Square Feet	1,018	1,018	1,018	1,018	1,018	4,072
Sprinkled Type 1SR	NO	NO	NO	NO	NO	
Fire Height	18'	18'	18'	18'	18'	
Ridge Height	28'	28'	28'	28'	28'	

LAND USE STATISTICS	
Total Area	6,985
Building Footprints	1,820
Pavedwalks and Drives	3,226
Total Developed	5,046
Percentage Developed	72%

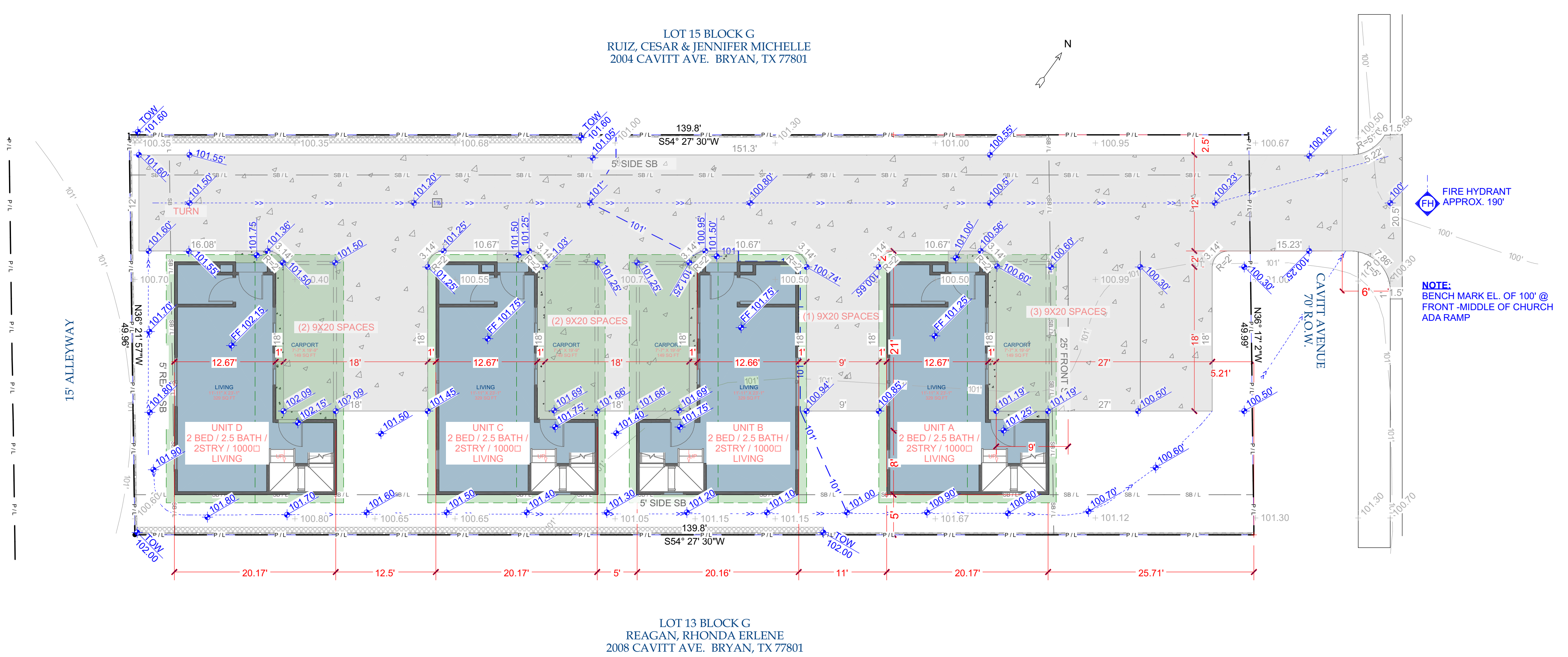
NOTE:
AN ACCESSIBLE ROUTE IS PROVIDED TO ALL UNITS.
ALL UNITS DESIGNED AS ANS I117.1 TYPE B UNITS

PARKING & REQUIREMENTS	
Unit Type	DETACHED CONDO
NUMBER OF UNITS	4
PARKING REQUIRED PER UNIT	2
TOTAL PARKING REQUIRED	8
PARKING PROVIDED	8

CODE SUMMARY	
BUILDING CODE	2021 IBC / IRC
PLUMBING CODE	2021 IPC
ELECTRICAL CODE	2020 NEC
ENERGY CODE	2018 IECC
MECHANICAL CODE	2021 IMC
NATURAL GAS	2021 IECC

LAYOUT PAGE TABLE		
LABEL	TITLE	DESCRIPTION
CS	COVER SHEET	
A1	SITE PLAN AND GRADING	
A2	UTILITY PLAN	
A3	LANDSCAPE PLAN	
A4	PAVING PLAN	
A5	EROSION CONTROL PLAN	

PROJECT NAME Cavitt Avenue Condos		PROJECT ADDRESS: 2006 CAVITT AVENUE BRYAN, TEXAS	
SHEET NO.	SHEET TITLE	REV. DATE	
CS	COVER SHEET	12/15/2025	
CLIENT NAME.....ARETE / JAKE CARLILE CLIENT PHONE.....979-977-5459 CLIENT EMAIL.....JAKE@ARATEPG.COM		PRINT DATE 12/15/2025 16:53:14	
FULL SCALE WHEN PRINTED 24 x 36 		CONTACT: 979-739-2002 / M.BROWN@THEBENBROWNGROUP.COM	

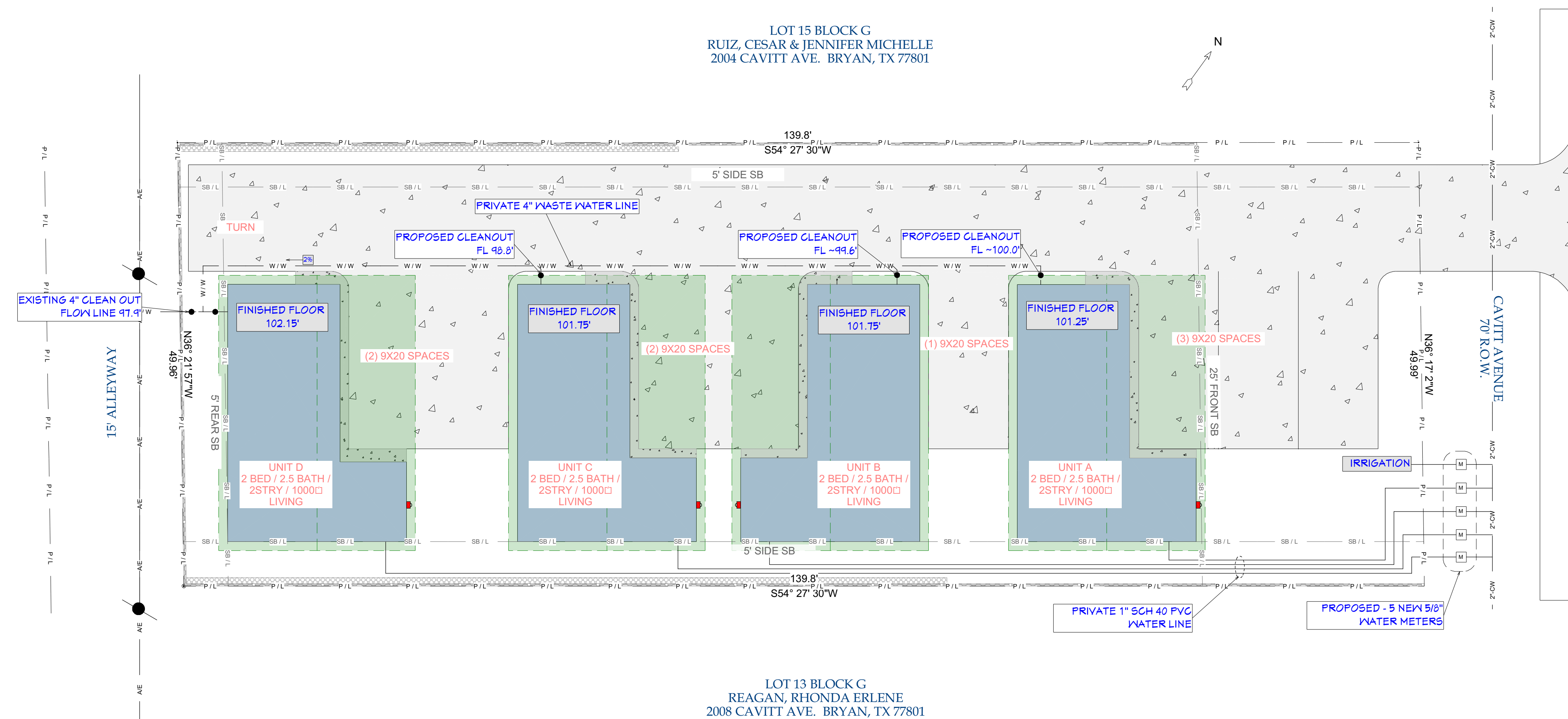


SP SITE PLAN
1/8 in = 1 ft

CALL FOR UTILITY LOCATES:
CITY OF BRYAN PUBLIC WORKS - 979-204-5400
TEXAS ONE CALL - DIAL 811
NOTE: TEXAS ONE CALL DOES NOT LOCATE BRYAN, TX UTILITIES
NOTE: WHERE ELECTRIC FACILITIES ARE
INSTALLED, BTU HAS THE RIGHT TO INSTALL,
OPERATE, RELOCATE, CONSTRUCT,
RECONSTRUCT, ADD TO, MAINTAIN, INSPECT,
PATROL, ENLARGE, REPAIR, REMOVE AND
REPLACE SAID FACILITIES UPON, OVER, UNDER,
AND ACROSS THE PROPERTY INCLUDED IN THE
PUE, AND THE RIGHT OF INGRESS AND EGRESS
ON PROPERTY ADJACENT TO THE PUE TO
ACCESS ELECTRIC FACILITIES.*

LEGEND	
+ 100.35	EXISTING ELEVATION
102.09	PROPOSED ELEVATION
101'	EXISTING GRADE LINE
-101'	PROPOSED GRADE LINE
---	FLOW LINE
[Green Box]	BUILDING FOOTPRINT
[Light Green Box]	AREA UNDER ROOF
[Grey Box]	CONCRETE PAVING
---	PROPERTY LINE
---	SETBACK LINE
---	4" PRIVATE SANITARY SEWER LINE
---	ARIEL ELECTRICAL
[Square]	5/8" WATER METER
[Circle]	ELECTRICAL METER
[Line]	PROPOSED 6" PRIVACY FENCE
[Pattern]	LIMESTONE BLOCK LANDSCAPE WALL

PROJECT NAME Cavitt Avenue Condos		PROJECT ADDRESS: 2006 CAVITT AVENUE BRYAN, TEXAS
SHEET NO. A1	SHEET TITLE SITE PLAN AND GRADING	REV. DATE 12/15/2025
CLIENT NAME ARETE / JAKE CARLILE CLIENT PHONE 979-877-5439 CLIENT EMAIL JAKE@ARATEPG.COM		PRINT DATE 12/15/2025 16:58:15
FULL SCALE WHEN PRINTED 24 x 36		The BEN BROWN Group CONTACT: 979-739-2002 / M.BROWN@THEBENBROWNGROUP.COM



UP UTILITY PLAN
1/8 in = 1 ft

UTILITY NOTES:

- 1) ELECTRICAL: EACH UNIT REQUIRES A 150A SERVICE. SERVICES SHALL BE UNDERGROUND AND RUN AS DESIGNED AND SPECIFIED BY BRYAN TEXAS UTILITIES
- 2) SOLID WASTE: EACH UNIT SHALL BE PROVIDED A 90 GALLON TRASH DRUM TO BE WHEELED TO CAVITT STREET FOR WEEKLY PICKUP
- 3) WATER: EACH UNIT SHALL BE INDIVIDUALLY METERED ADDITIONALLY A METER SHALL BE PROVIDED FOR IRRIGATION. IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LISCENSED IRRIGATION PROFESSIONAL
- 4) GAS: THE UNITS WILL BE 100% ELECTRIC. GAS WILL NOT BE BROUGHT INTO THE PROPERTY
- 5) SANITARY SEWAGE: AND EXISTING 4" SEWER LINE WILL BE UTILIZED AS A TAP POINT FOR THE NEW PRIVATE SANITARY SEWER LINE.

LEGEND	
+ 100.35	EXISTING ELEVATION
102.09	PROPOSED ELEVATION
101'	EXISTING GRADE LINE
-101'	PROPOSED GRADE LINE
---	FLOW LINE
[Green Box]	BUILDING FOOTPRINT
[Blue Box]	AREA UNDER ROOF
[Grey Box]	CONCRETE PAVING
P/L	PROPERTY LINE
SB/L	SETBACK LINE
W/W	4" PRIVATE SANITARY SEWER LINE
AE	ARIEL ELECTRICAL
[M]	5/8" WATER METER
[E]	ELECTRICAL METER
[Fence Symbol]	PROPOSED 6' PRIVACY FENCE
[Wall Symbol]	LIMESTONE BLOCK LANDSCAPE WALL

PROJECT NAME		PROJECT ADDRESS:	
Cavitt Avenue Condos		2006 CAVITT AVENUE BRYAN, TEXAS	
SHEET NO.	SHEET TITLE	REV. DATE	
A2	UTILITY PLAN	12/15/2025	
CLIENT NAME..... ARETE / JAKE CARLILE		PRINT DATE	
CLIENT PHONE..... 979-877-5439		12/15/2025	
CLIENT EMAIL..... JAKE@ARATEPG.COM		16:53:15	
FULL SCALE WHEN PRINTED		The BEN BROWN Group	
24 x 36		CONTACT: 979-739-2002 / M.BROWN@THEBENBROWNGROUP.COM	



	RIVER ROCK LANDSCAPE BED 1"-3" RIVER ROCK
	BARK MULCH LANDSCAPE BED BLACK BARK MULCH

NOTES:

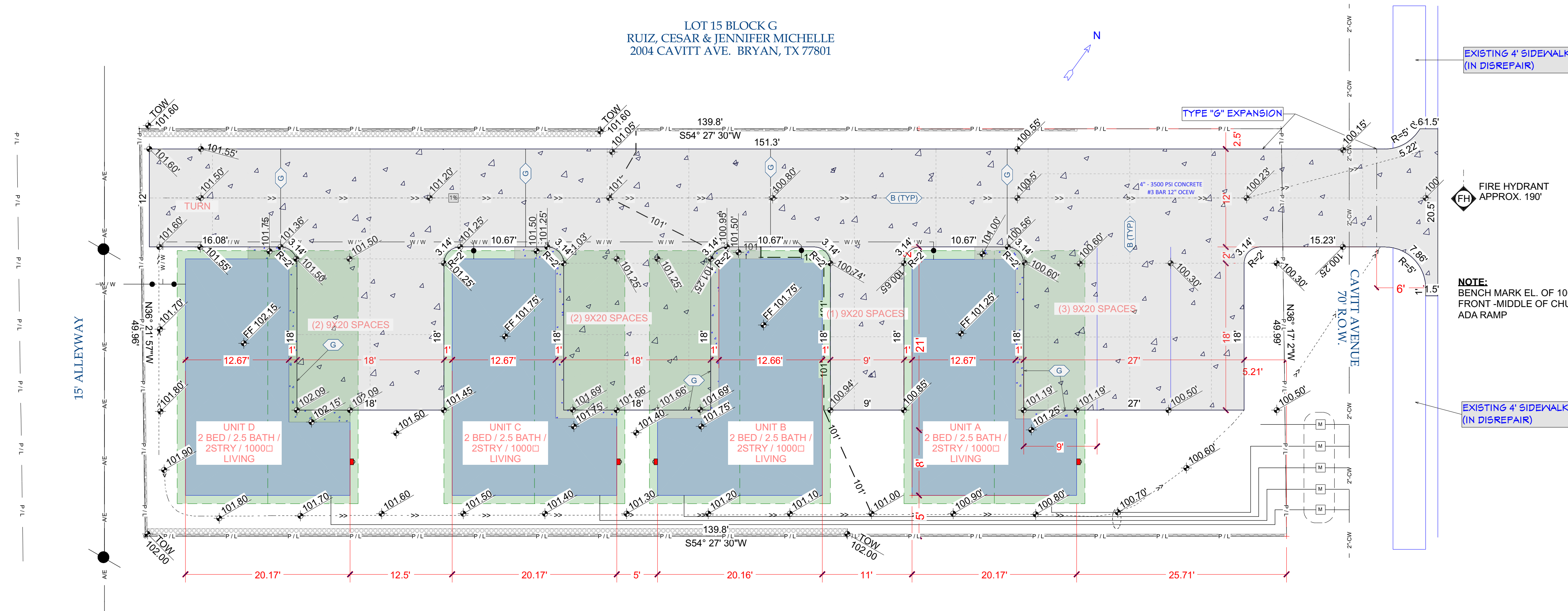
1) TO ENSURE THE GROWTH OF TREES IN END ISLANDS, A MINIMUM 24" SOIL DEPTH AND 250 CUBIC FEET OF APPROPRIATE PLANTING MEDIUM IS REQUIRED PER TREE, WITH TOPSOIL MOUNDDED TO A CENTER HEIGHT.

2) REPLACEMENT OF DEAD LANDSCAPING SHALL OCCUR WITHIN 90 DAYS OF NOTIFICATION. REPLACEMENT MATERIAL MUST BE IMILAR CHARACTER AS THE DEAD LANDSCAPING. FAILURE TO REPLACE DEAD LANDSCAPING, AS REQUIRED BY THE ZONING OFFICAL OR HIS OR HER DESIGNEE, SHALL CONSTITUTE A VIOLATION OF HTIS ARTICLE SUBJECT TO THE GENERAL PENALTY PROVISIONS OF CITY CODE SECTION 1-14

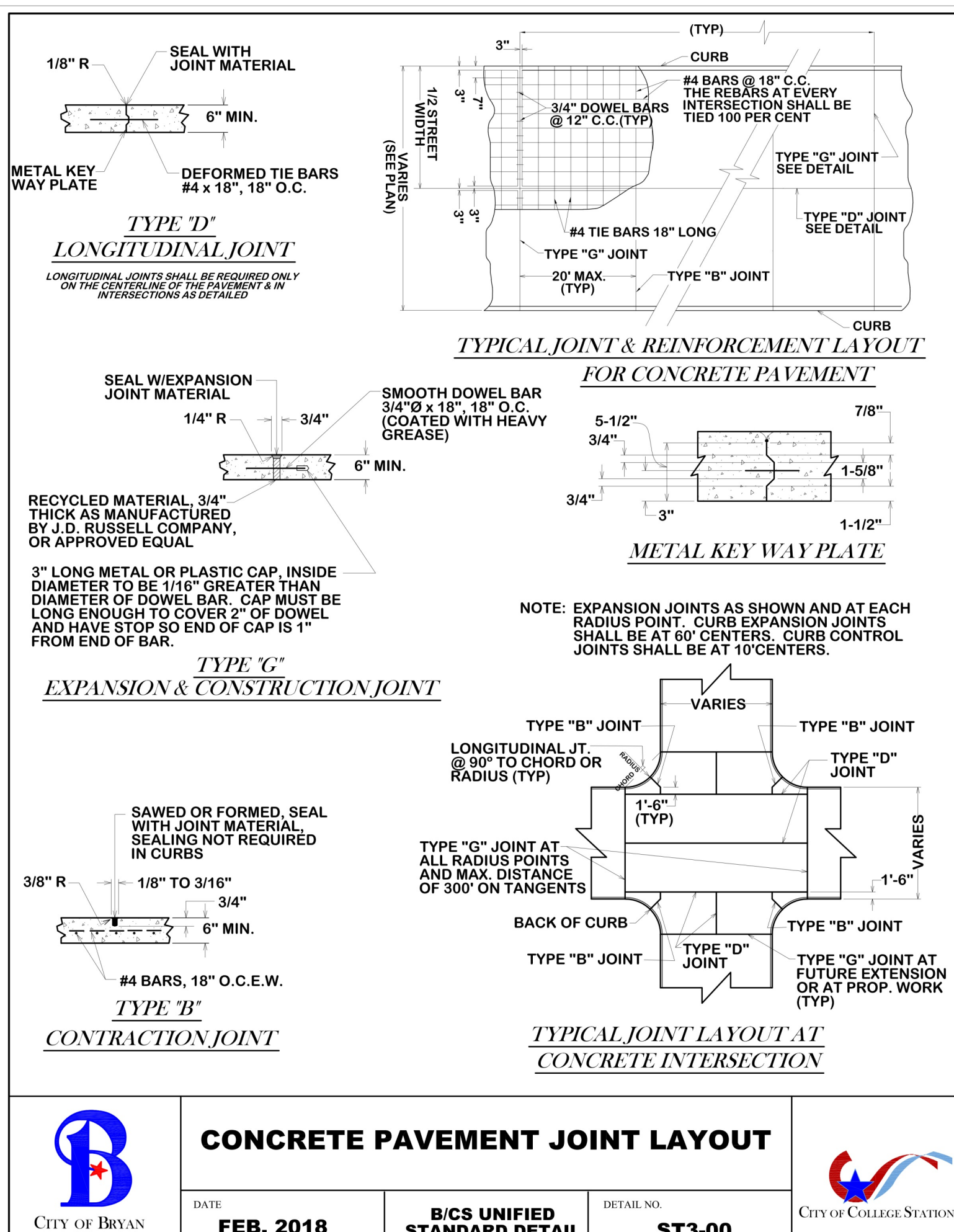
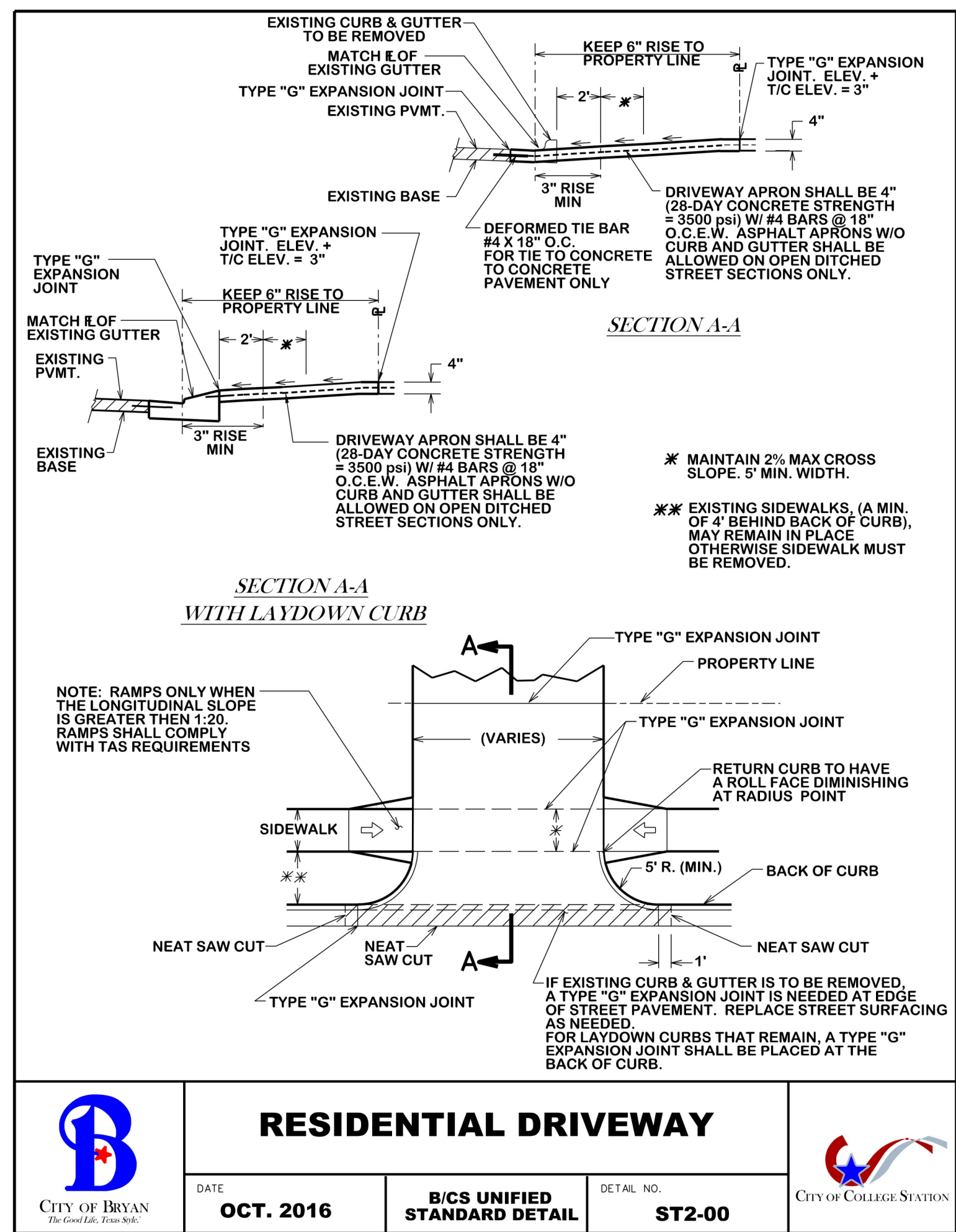
	LEGEND
+100.35	EXISTING ELEVATION
102.09	PROPOSED ELEVATION
101'	EXISTING GRADE LINE
-101'	PROPOSED GRADE LINE
100' 0" 100' 0"	FLOW LINE
	BUILDING FOOTPRINT
	AREA UNDER ROOF
	CONCRETE PAVING
P/L	PROPERTY LINE
SB/L	SETBACK LINE
18"	18" MIN. SANITARY SEWER LINE
ARL	ARIEL ELECTRICAL
5/8"	5/8" WATER METER
EL	ELECTRICAL METER
	PROPOSED 6' PRIVACY FENCE
	LIMESTONE BLOCK LANDSCAPE WALL

PROJECT NAME Cavitt Avenue Condos		PROJECT ADDRESS: 2006 CAVITT AVENUE BRYAN, TEXAS	
SHEET NO. A3	SHEET TITLE LANDSCAPE PLAN	REV. DATE 12/15/2025	
CLIENT NAME..... ARETE / JAKE CARLILE CLIENT PHONE..... 979-277-5439 CLIENT EMAIL..... JAKE@ARATEPG.COM		PRINT DATE 12/15 / 2025 16:53:15	
FULL SCALE WHEN PRINTED 24 x 36			
CONTACT: 979-739-2002 / M.BROWN@THEBENBROWNGROUP.COM			

NOTE:
BUILD DRIVEWAY TO
RESIDENTIAL DRIVEWAY
STANDARD

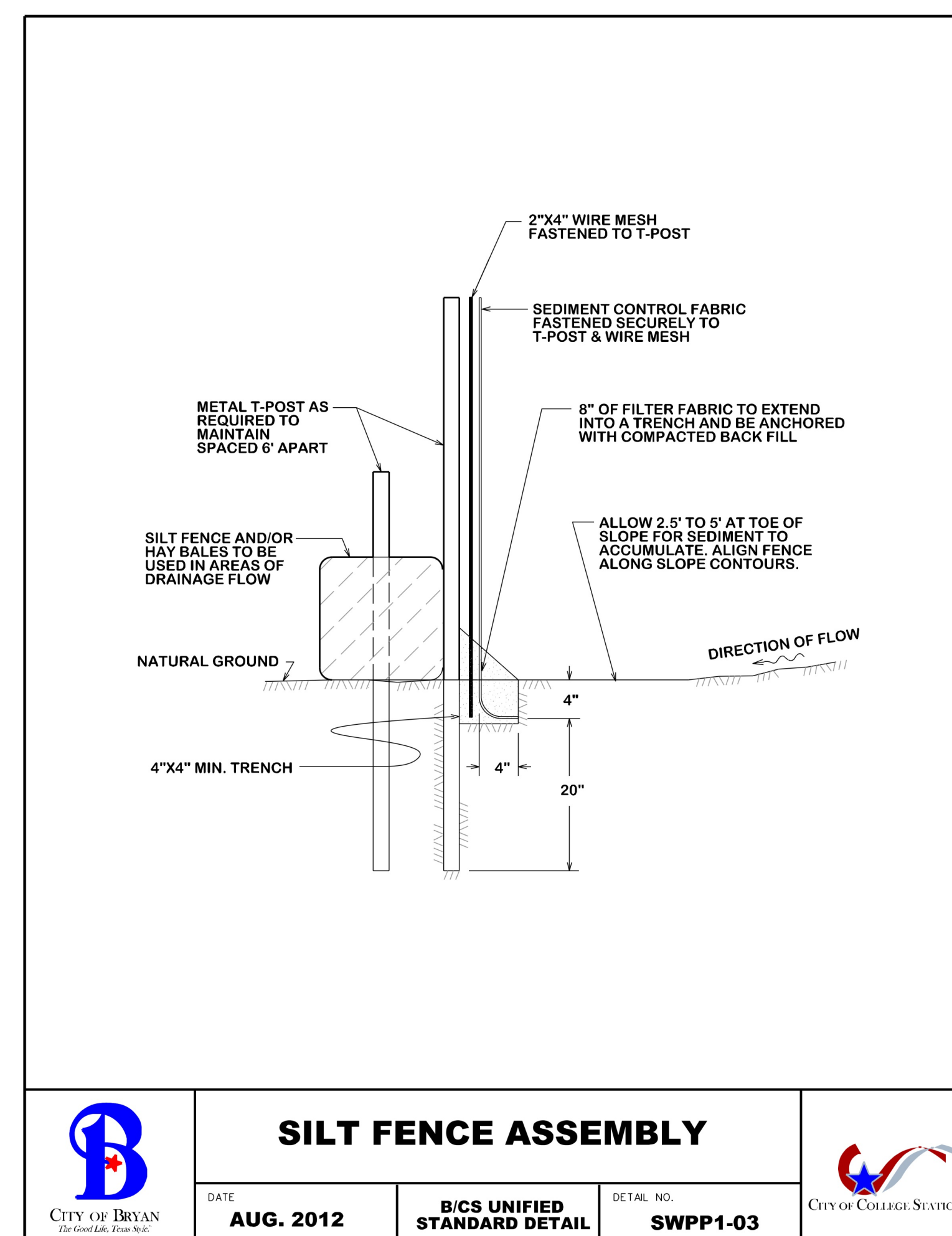
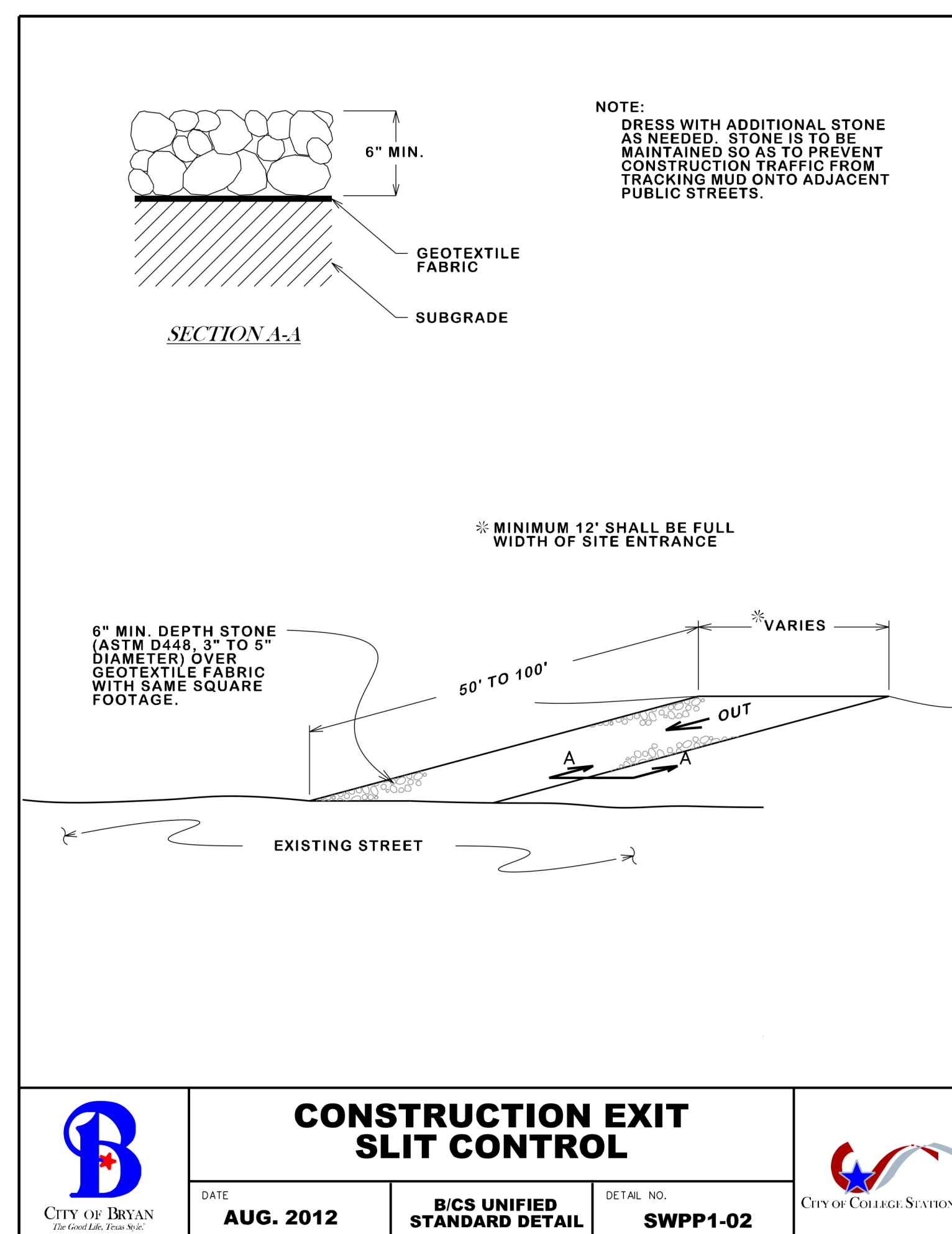


PP PAVING PLAN
1/8 in = 1 ft



LEGEND	
+ 100.35	EXISTING ELEVATION
+ 102.09	PROPOSED ELEVATION
- 101'	EXISTING GRADE LINE
- 101'	PROPOSED GRADE LINE
- 101'	FLOW LINE
- 101'	BUILDING FOOTPRINT
- 101'	AREA UNDER ROOF
- 101'	CONCRETE PAVING
- 101'	PROPERTY LINE
- 101'	SETBACK LINE
- 101'	4" PRIVATE SANITARY SEWER LINE
- 101'	ARIEL ELECTRICAL
- 101'	5/8" WATER METER
- 101'	ELECTRICAL METER
- 101'	PROPOSED 6" PRIVACY FENCE
- 101'	LIMESTONE BLOCK LANDSCAPE WALL

PROJECT NAME Cavitt Avenue Condos		PROJECT ADDRESS: 2006 CAVITT AVENUE BRYAN, TEXAS
SHEET NO. A4	SHEET TITLE PAVING PLAN	REV. DATE 12/15/2025
CLIENT NAME: ARETE / JAKE CARLILE CLIENT PHONE: 979-477-5430 CLIENT EMAIL: JAKE@ARATEPG.COM		PRINT DATE 12/15/2025 16:53:16
FULL SCALE WHEN PRINTED 24 x 36		CONTACT: 979-739-2002 / M.BROWN@THEBENBROWNGROUP.COM



PROJECT NAME Cavitt Avenue Condos		PROJECT ADDRESS: 2006 CAVITT AVENUE BRYAN, TEXAS	
SHEET NO. A5	SHEET TITLE EROSION CONTROL PLAN	REV. DATE 12/15/2025	
CLIENT NAME..... ARETE / JAKE CARLILE CLIENT PHONE..... 979-277-5439 CLIENT EMAIL..... JAKE@ARATEPG.COM		PRINT DATE 19 / 15 / 2025 16:53:17	
FULL SCALE WHEN PRINTED 24 x 36			
CONTACT: 979-739-2002 / M.BROWN@THEBENBROWNGROUP.COM			